

Gary A. Taylor Investment Co.
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731.668.1893

President
Gary Taylor
gtaylor@invest@gmail.com
901.395.4318

Jackson, TN Distribution & Warehousing

We at Gary A. Taylor Investment Company want to partner with you to advance your warehousing and distribution infrastructure in West Tennessee. We currently offer opportunities for Design-Build-Lease at both the East and West ends of the I-40 corridor through Jackson-Madison Co.

Please contact Gary Taylor for more information.

Q1 2021

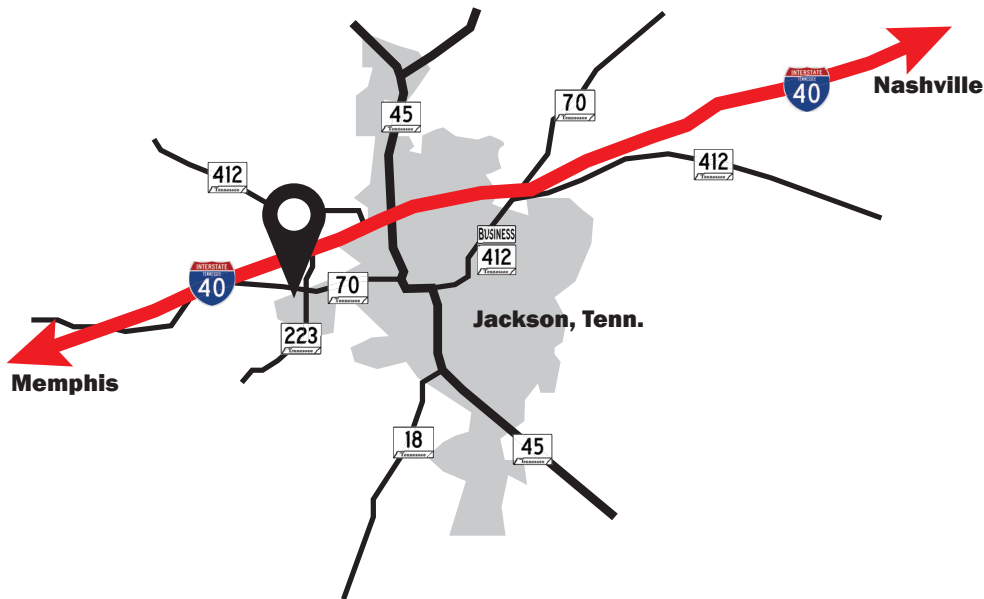
www.gatinvest.com



**GARY A. TAYLOR
INVESTMENT COMPANY**

HWY 70 / HWY 223

Gary Taylor
 gtaylorinvest@gmail.com
 901.395.4318



Area

19.85 acres

Building Capacity

+300,000 sq. ft.

Zoning

I-2

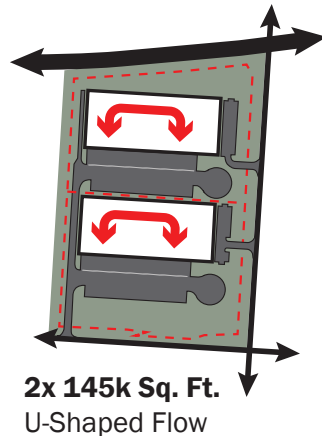
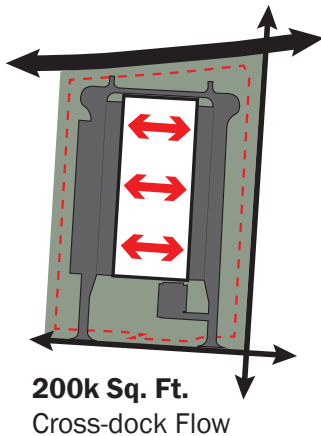
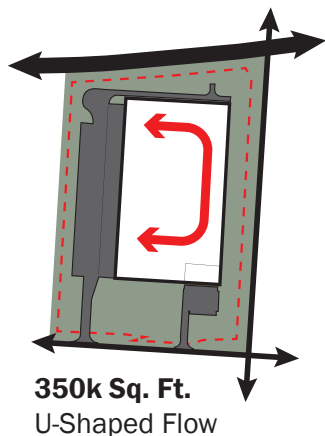
(Warehouse/Light Industry)

Rapid Delivery

- Current ALTA Survey
- Pre-engineered Grading Plan
- TDEC Approvals
- Utilities on Site
- Zoned
- Quick Pricing
- Seasoned Development Partners
- **Typical 9-month Delivery from Lease**



Adaptable to Client Needs



Gary Taylor

gtaylorgatinvest@gmail.com
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GARY A. TAYLOR
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Area

48.2 acres

Building Capacity

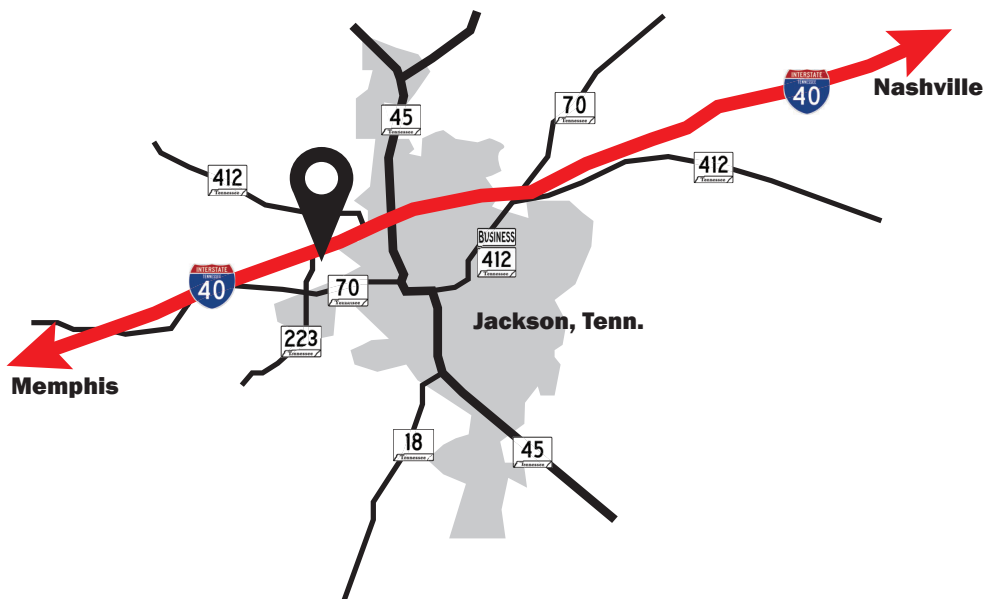
900,000 sq. ft.

Zoning

I-2

(Warehouse/Light Industry)

Lower Brownsville Rd.

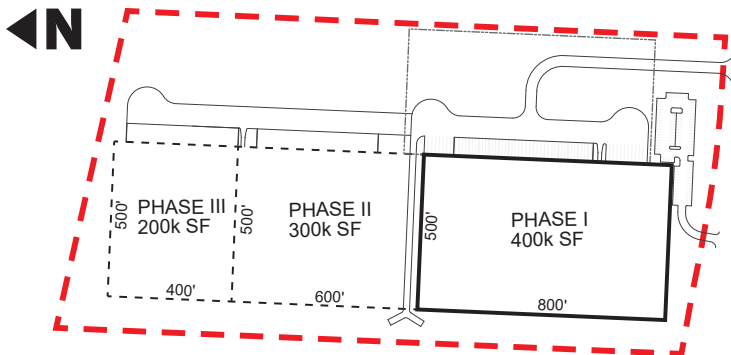


Rapid Delivery

- Current ALTA Survey
- Pre-engineered Grading Plan
- TDEC Approvals
- Utilities on Site
- Zoned
- Quick Pricing
- Seasoned Development Partners
- **Typical 9-month Delivery from Lease**



Designed for Growth



- Planned for Phased Growth
- Expandable Footprint
- Adaptable U-Shaped and Cross-dock Configurations
- Separate Passenger Vehicle and Truck Egress
- Direct Access to Federal and State Highways

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Area

5 - 16 acres

Building Capacity

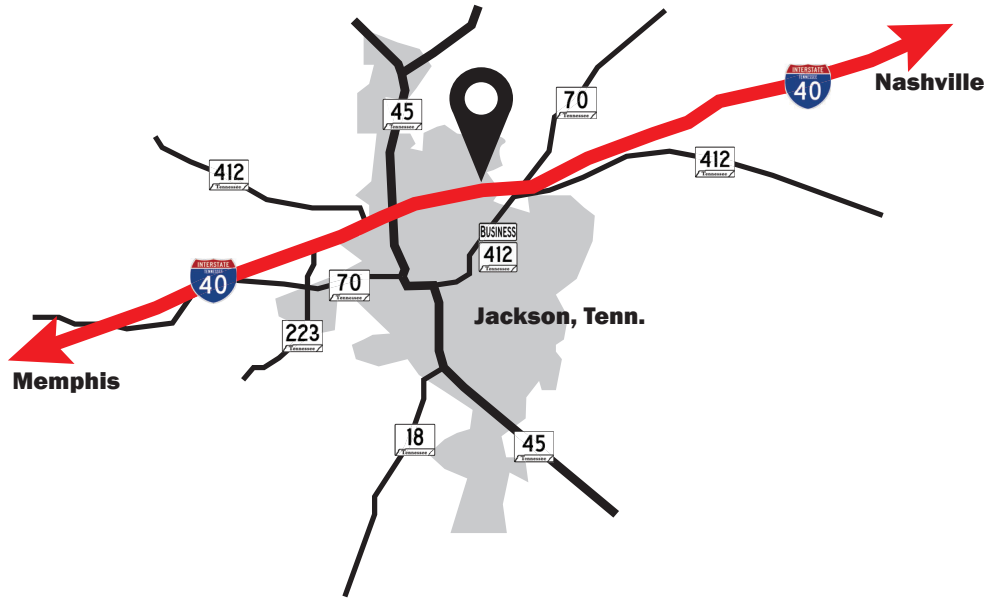
+200,000 sq. ft.

Zoning

I-0

(Warehouse/Distribution)

Sandstone Village



Rapid Delivery

- Current ALTA Survey
- Pre-engineered Grading Plan
- TDEC Approvals
- Utilities on Site
- Zoned
- Quick Pricing
- Seasoned Development Partners
- **Typical 9-month Delivery from Lease**



Premium Access and Visibility



- High Visibility for Brand Expansion
- Adaptable U-Shaped and Cross-dock Configurations
- Separate Passenger Vehicle and Truck Egress
- Immediate Access to Federal and State Highways